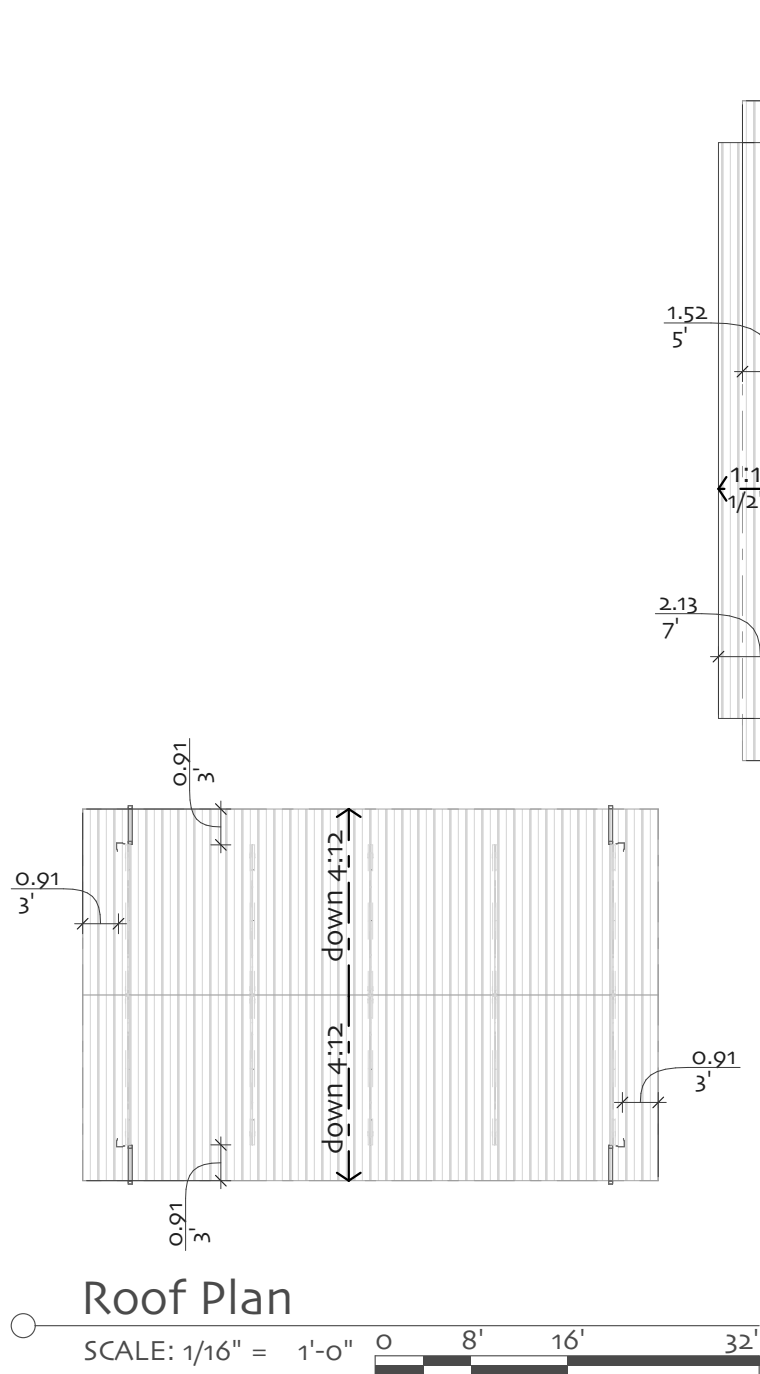


Legend: OmniClass# OmniClassTitle...
Project notes (reference) (IRC / IRC reference).
22-01 All work must meet the requirements of all locally adopted codes and ordinances including the Building Code (22-01 00 10) and the Accessibility Code (22-01 00 20), as well as all requirements, drawings, details, specifications and references in these construction documents.
22-01 00 10 Building Code...
All work must meet the requirements of the 2017 edition of the Florida Building Code – Residential, and adopted Florida Building Code Family.
22-01 00 20 Accessibility Code...
All work must meet the requirements of the 2009 version of ANSI 119.1
22-01 31 00 Project Management and Coordination...
The Contractor is fully responsible for the construction and its conformance with all General Requirements (22-01 00 00) in order to be eligible for payment by the Owner. The Owner, under separate contract, may enlist the services of the Architect as a consultant to assess and confirm in writing the compliance of the work with the General Requirements (22-01 00 00). Otherwise, the Architect's liability is waived except for non-conformance of the design with applicable codes and ordinances. The presence of a representative of the Architect or Owner on the job site does not constitute approval of the work.
22-01 31 13 Project Coordination...
Contact Sustainable Architecture, PLLC, wbswaingicloud.com, 662/801-2701, with any questions regarding these documents or discrepancies between the design and actual conditions.
22-01 31 13 10 Dimensioning...
The data given in the design documents is for design purposes only and not guaranteed to a level of accuracy suitable for construction; the Contractor shall obtain exact locations, measurements, levels, etc. at the site, and shall adapt his work to the actual site conditions – and shall preserve the integrity of the design. Do not scale drawings. All notes and noted dimensions take precedence over scaled values, visual representations, or assumed information shown. Dimensioning guidelines are as follows: vertical dimensions are measured from finished floor elevation "FFE" – i.e. top of slab or subfloor prior to installation of the finished floor – doors not dimensioned are to be placed as shown: either 10cm[4"] from the face of stud to the frame at adjacent corners, centered along the wall length, or to match existing conditions; windows not elevated shall be placed vertically to have same head height as doors, exterior doors taking precedence – coordinate with the Exterior Window & Door Schedule, stairs are dimensioned to face of nosing for riser, tread and handrail elevation dimensions, with handrails at 36"n, and guardrails at 42"n.
22-01 31 19 13 Pre-construction Meetings...
The Owner, Architect and Contractor shall have an on-site pre-construction meeting to review the contract documents and to confirm Owner, Architect and Contractor responsibilities, and schedule and fee requirements. The Owner fails to have the meeting at Owner's risk.
22-01 31 19 23 Progress Meetings...
The Contractor shall adhere to the construction progress schedule (22-01 32 16), and shall notify the Architect or Owner at each construction milestone (22-01 32 16) so progress meetings can occur to inspect the work, authorize payment and approve construction to proceed. Architect's assessments are only recommendations; the Architect is not a Mediator.
22-01 32 16 Construction Progress Schedule...
The construction progress schedule shall be negotiated between the Owner, Architect and Contractor, during the pre-construction meeting. It shall be coordinated with any draw schedule in place. The construction milestones are as follows: 1) just prior to each concrete pour, 2) at completion of exterior wall and roof framing, 3) at completion of fenestration and Weather-Resistive Barrier (G6-11 21 00 07) but before finishes, 3) at completion of interior framing, 5) at completion of plumbing, mechanical, electrical and fire protection but before finishes, 6) at completion of millwork and casework installation, 7) at completion of finishes and plumbing, mechanical, electrical top-out, 8) at preliminary closeout review (22-01 77 13), and 9) at Final Closeout Review (22-01 77 16).
22-01 77 16 Acceptance of Conditions, Substitution...
Substitutions are permitted but must be reviewed by the Architect. The Architect shall review any proposed changes for violations of the General Requirements. If the Contractor, Owner or their Agents explicitly alter the work so that it does not conform with these Documents without the Architect's written approval, (e.g. alter the design, substitute a material or system, revise construction detail or method of attachment from what is shown) such action will relieve the Architect of any liability regarding possible subsequent failure, property damage or personal liability.
22-01 77 13 Preliminary Closeout Review...
Within 1 week after the preliminary closeout review progress meeting, the Architect will issue a Completion and Correction List (22-01 78 13), and establish a date for the Final Closeout Review (22-01 77 16).
22-01 77 16 Final Closeout Review...
At the final closeout review, the Architect will inspect against the Completion and Correction List (22-01 78 13), and if all items are handled satisfactorily a substantial-completion certificate will be issued. Closeout preparation items include but are not limited to the following procedures: 1) Remove all construction debris, scraps, material, and equipment from site. 2) All glass shall be free of all manufacturer's tags, shall be cleaned on both sides, and shall be scratch free. 3) All millwork, doors, wall materials, painted surfaces, fixtures & fittings, mechanical grilles, ductwork, etc. are to be wiped down and free of dirt or other foreign matter. 4) All ductwork shall be power brush cleaned, vacuumed, and sanitized before owner takes possession. 5) All hard and soft floor surfaces are to be cleaned per manufacturer's specifications. 6) All areas used for storage, and all travel routes to and from the Project are to be returned to their original condition at the completion of Work. Any items not required in the construction documents will be handled under separate contract between the Owner and Contractor, and the Owner-Architect contract will be considered closed.
22-01 78 13 Completion and Correction List...
A completion and correction list ("punch list") will list all notable items that are officially deemed a discrepancy between the project requirements and the work. All items must be resolved for the final closeout review to commence.
22-01 78 23 Operation and Maintenance Data...
At the final closeout review (22-01 77 13), the Contractor shall provide a file to the Owner containing manufacturer specifications, operation and maintenance instructions, and warranties for all products and systems installed by the Contractor.

22-01 General Requirements

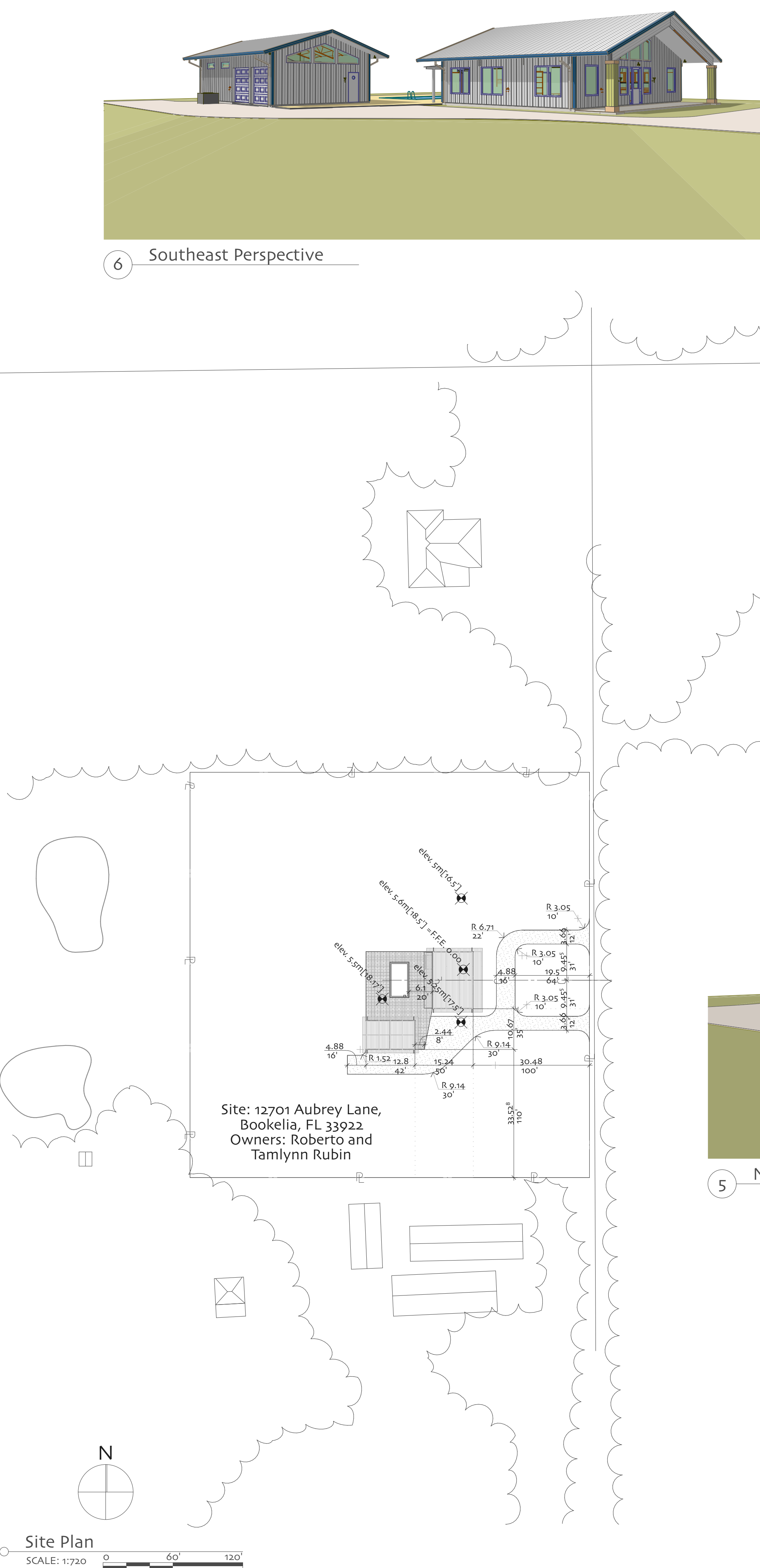
All documents below are hereby incorporated into the Construction Documents.
36-11 21 00 Product Literature
36-11 21 00 01 Manufacturer's Guide for Trus Joist Beams, Headers and Columns...
Weyerhaeuser (https://www.weyerhaeuser.com/woodproducts/document-library/document_library_detail/tj-9000/)
36-11 21 00 02 Architectural Detail Manual (online)..
PCT "Wingard" aluminum impact windows and patio doors (https://www.pgtwindows.com/wp-content/uploads/2020/04/Wingard_Aluminum_Brochure_4-3-20.pdf)
36-11 29 13 Professional Practice Guides and Standards
36-11 29 13 01 Details for Conventional Wood Construction...
American Forest & Paper Association (https://www.cochise.az.gov/sites/default/files/community_development/BSDRef%20AFPA%20%20Conventional%20Wood%20Frame%20Construction%20Details.pdf)
36-11 29 13 05 National Gypsum Construction Guide...
National Gypsum Co. (<https://www.scribd.com/document/208722419/NGCCConstGuide-pdf>)
36-11 29 13 06 Architectural Woodwork Standards...
Architectural Woodworking Institute (https://woodworkinstitute.com/wp-content/uploads/2018/04/2ndEdAWS_SmBkMkrd_141001.pdf)

36-11 General References



21-07 Sitework

21-07 Sitework...
Sitework consists of site preparation (21-07 10), site improvements (21-07 20), liquid and gas site utilities (21-07 30) and electrical site improvements (21-07 40).
21-07 10 Site Preparation...
Site preparation consists of site clearing (21-07 10 10) and site earthwork (21-07 10 70).
21-07 10 10 Site Clearing...
Site clearing consists of earth stripping and stockpiling (21-07 10 10 50).
21-07 10 10 50 Earth Stripping and Stockpiling...
Minimize the area of earth stripping to within and around the building pad perimeter and minimal area necessary for access. Remove only those trees smaller than 2' diameter or in proposed parking areas. Protect existing landscaping.
21-07 10 70 Site Earthwork...
Site earthwork consists of grading (21-07 10 70 10), excavation and fill (21-07 10 70 10), and erosion and sedimentation controls (21-07 10 70 10).
21-07 10 70 10 Grading...
Grade the site as indicated in the civil plan to accommodate the storm drainage system (21-07 30 30).
21-07 10 70 20 Excavation and Fill (building pad)...
The building pad consists of 1m[3'] of engineered fill as specified over virgin earth after all organic material is removed, moistened and compacted to 95% of maximum Proctor density to achieve a minimum load bearing value of 1500psi for residential loading. If such values are not achieved, a soils report is required. In the absence of a soils report, all Architect liability for foundation issues or failures is waived. Excavate the minimum area necessary to establish the building pad. The building pad shall be 30cm[1'] above existing grade at the high side, feathered with a 1:4 slope all around; the FFE will be set at 15cm[6"] above top of building pad. Adjacent concrete patios, driveways, walks will meet the slab at 10cm[4"] below finished floor elevation: slope grade accordingly at 1:50 for site concrete and 1:8 down to existing grade beyond. Provide Owner-selected gravel inside the eave drip line ensuring a minimum of 6" clearance to finish floor elevation, maintaining positive slope away from the building.
21-07 10 70 35 Erosion and Sedimentation Controls...
Provide silt fencing and ground cover throughout construction as needed to keep inlets to off-site drainage clear.
21-07 20 Site Improvements...
Site improvements consist of landscaping (21-07 20 80).
21-07 20 80 Landscaping...
Prior to landscaping, all construction debris shall be disposed of off-site. Excavation soil shall be retained and redistributed neatly prior to landscaping. Bait-based termite prevention systems shall be provided in the gravel zone (21-07 10 70 20). Outside that zone, landscaping must be coordinated with the owner to provide complete ground-cover and associated irrigation (21-07 10 30 10 50).
21-07 30 Liquid and Gas Site Utilities...
The Contractor is responsible for the natural gas connection.
21-07 30 10 Water Utilities...
The Contractor is responsible for the domestic water connection.
21-07 30 10 50 Site Irrigation Water Distribution (or xeriscaping)...
The site irrigation is system to be designed under separate contract upon request by the Owner. Rainwater harvesting is recommended. Upon approval of the Code Official, Rainwater harvesting in encouraged as a source for lawn irrigation, and Xeriscaping (G6-11 43 00 01) is recommended as an alternative to an irrigation system.
21-07 30 20 20 Sanitary Sewerage Piping...
The Contractor is responsible for the sanitary sewerage piping and all site connections (21-04 20 20).
21-07 30 30 Storm Drainage System...
Use gutters and downspouts at all eaves and route underground into existing off-site stormwater drainage system.
21-07 30 30 30 Culverts, Swales, French Drains...
Provide swales and French drains as required to ensure positive drainage from all areas to off-site stormwater systems.



6 Southeast Perspective



	Sheet Name	Name
C1.01	Site & General Information	22-01 General Requirements
C1.01	Site & General Information	36-11 General References
C1.01	Site & General Information	21-07 Sitework
C1.01	Site & General Information	Site Plan
C1.01	Site & General Information	Roof Plan
C1.01	Site & General Information	Drawing Index
C1.01	Site & General Information	Southeast Perspective
C1.01	Site & General Information	Northeast Perspective
A1.01	Floor Plan	Floor Plan
A1.01	Floor Plan	Assembly Types
A2.01	Exterior	South Elevation
A2.01	Exterior	East Elevation
A2.01	Exterior	North Elevation
A2.01	Exterior	West Elevation
A2.01	Exterior	Exterior Door and Window Legend
A2.01	Exterior	21-02 Shell
A2.01	Exterior	21-02 30 Exterior Horizontal Enclosures
A2.01	Exterior	Northwest Perspective
A2.01	Exterior	21-02 20 Exterior Vertical enclosures
A3.01	Construction	Section 02
A3.01	Construction	Section 01
A3.01	Construction	Section 03
A4.01	Interiors	21-03 Interiors
A4.01	Interiors	Kitchen N
A4.01	Interiors	Kitchen S
A4.01	Interiors	Kitchenette S
A4.01	Interiors	Galleria Perspective
A4.01	Interiors	Apartment Perspective
S1.01	Foundation Coordination	Foundation Coordination Plan
E1.01	Electrical and Services	21-04 Services
E1.01	Electrical and Services	Services Plan
E1.01	Electrical and Services	Electrical and Services Legend

1 Drawing Index



5 Northeast Perspective

project number: 3392201

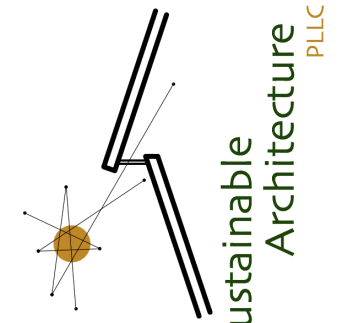
Construction Documents

Issue: 8/16/2020
© copyright 2020

Addenda:



8/16/2020



Sustainable Architecture PLLC

W. Brent Swain,
570 Hathorn Road
Oxford, MS 38655
662/801-2701
www.SustainableArch.com
662/801-2701
architecture, sustainable &
passive-solar design
CAD & graphic services

Casa del Sol
12701 Aubrey Lane
Bookelia, FL 33922

Site & General Information
C1.01

NOTE: Light gage metal framing is preferred. Wood framing lumber grade and sizing designations are minimum acceptable.

W01: typical above-grade exterior wall
backup: in-line 2X6 girts @122cm[48"oc] vertical maximum engineered by metal building supplier
insulation: R25 nominal metal building batt system installed horizontally, Silvercote "EnergySaver" or equal, single layer with thermal break tape, rated U=0.06
exterior finish: min. 26 gage steel wall panels applied at right angles to girts with 1 1/2" long, No. 12-14 self-drilling screws 12"oc
interior finish: 13mm[1/2"] gypsum board (3/A4.01: 22-09 29) over furring strips or hat channels spaced at 61cm horizontally – or, Owner-approved metal liner panels – or, FRP panels.

P01: typical interior partition–
extend to underside of roof deck unless ceiling height noted otherwise on Electrical and Services Plan (E1.01)
backup: 2X4 no.3 or better studs @61cm[24"]oc
insulation: none
finish: 13mm[1/2"] gypsum board (3/A4.01: 22-09 29), or other Owner-approved panels.

P02: sound insulated partition
same as P01, Rn fiberglass batts, caulk drywall seams and inside corners.

P03: plumbing chase
same as P01, 2X6 studs

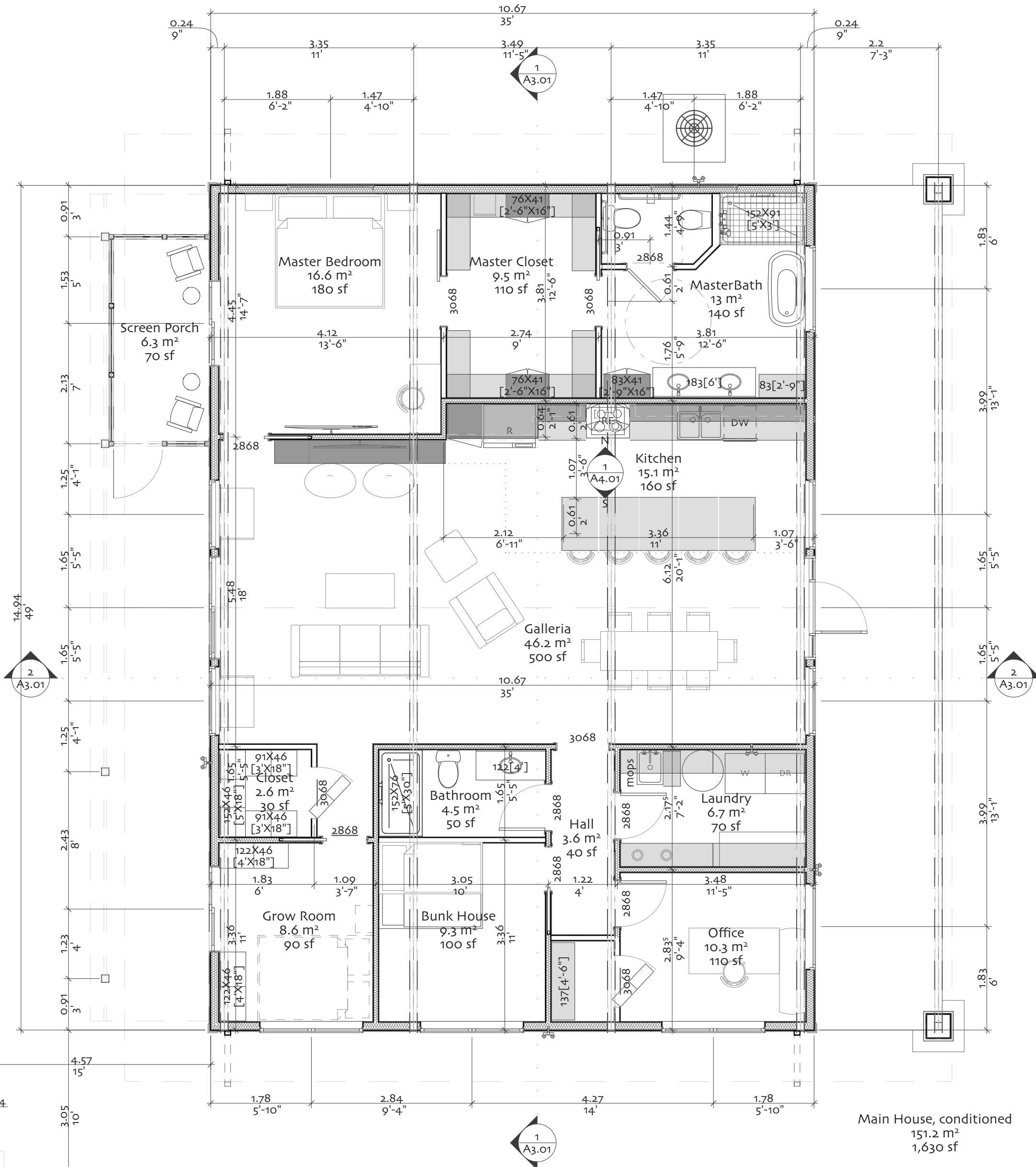
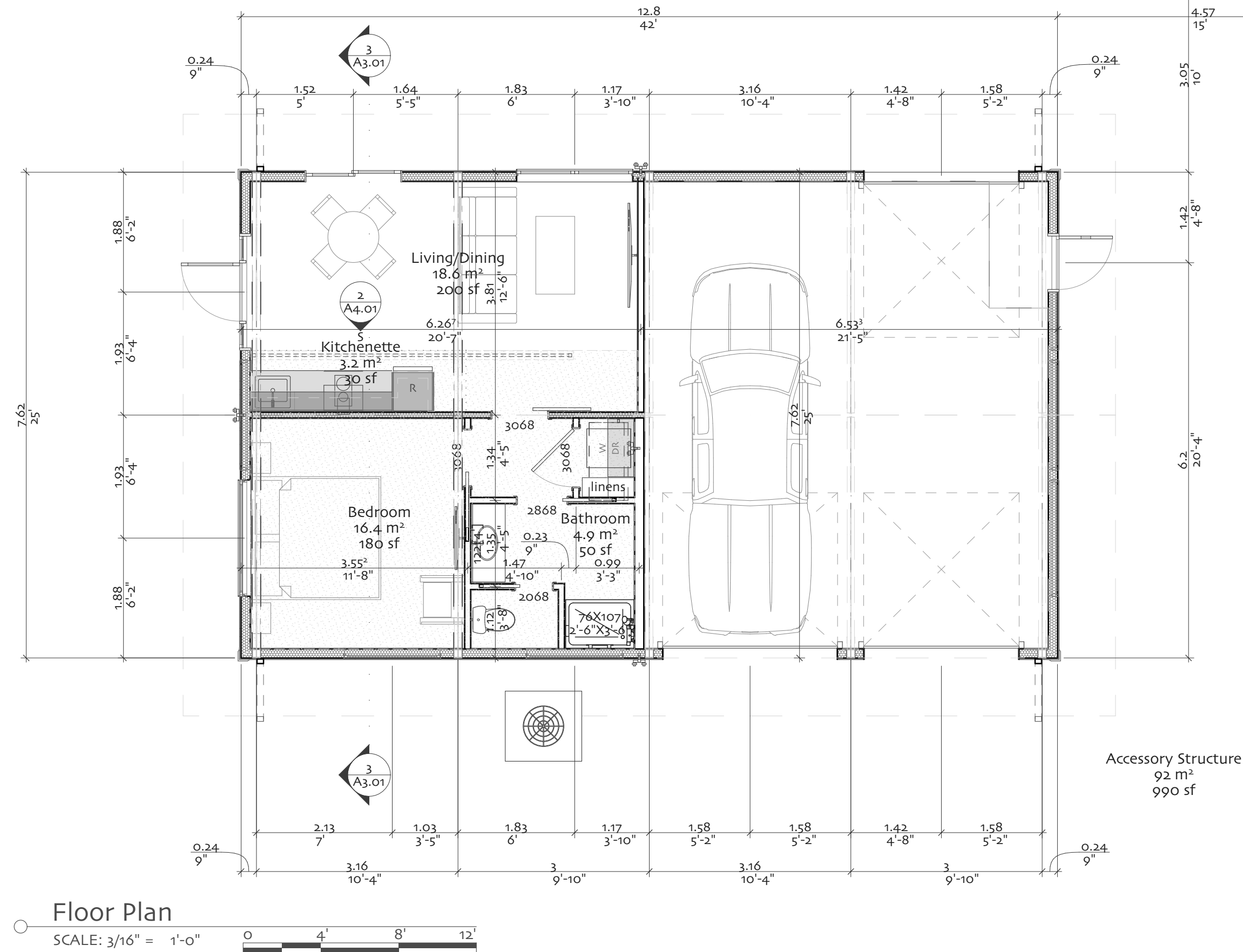
CH1: chase
same as P01, drywall on exposed side only

FC1: floor-ceiling
backup: 2X8 no. 1 studs @41cm[16"]oc
finish: 13mm[1/2"] drywall ceiling, 11mm[7/16"] plywood deck, high-gloss white paint finish

W03: interior loadbearing wall
backup: 2X4 no. 1 studs @41cm[16"]oc
finish: 13mm[1/2"] drywall

RC1: typical roof-ceiling
backup: 2X8 purlins@122cm[24"oc] maximum engineered by metal building supplier
insulation: R-20+R-8 nominal two-layer metal building batt system, Silvercote "EnergySaver" or equal, top R-8 layer perpendicular to the purlins, rated U=0.03
exterior finish: min. 26 gage steel panels applied at right angles to purlins with 1 1/2" long, No. 12-14 self-drilling screws 12"oc
interior finish: sV Crimp panels applied to underside of purlins (place conduit or MC-cabing in purlin space beneath insulation, pre-locate J-boxes.)

1 Assembly Types



21-02 Shell...
Shell consists of Superstructure (21-02 10, 13/A3.01) Exterior Vertical Enclosures (21-02 20, 2/A2.01) and Exterior Horizontal Enclosures (21-02 30, 3/A2.01), with global requirements listed below for Decay Prevention (22-06 05 33 73), Termite Protection (22-31 31 16 16), Fastening (22-05 05 23), Firestopping (22-07 84 00) and Thermal Insulation (22-04 21 00) and Weather-Resistive Barrier WRB (22-07 25 00).
Firestopping...
Firestopping to prohibit draft openings between horizontal and vertical assemblies shall be provided at all concealed spaces of stud walls and partitions and furred spaces. The fireblocking shall occur at the ceiling and floor levels, every 10 feet horizontally, at all interconnections between vertical and horizontal spaces (e.g. soffits), concealed spaces, at openings around penetrations (ducts, pipes, etc.), and at chimneys and fireplaces per (R1003.19). Fireblocking may consist of 2X construction or double-X construction with offset lap joints, 2x12" wood structural panels installed with battens of the same, 3/4" particleboard with battens of the same, 1/2 gypsum board, or 1/4" cement-based millboard. (R602.8)
Thermal Insulation...
Thermal Insulation shall be Silvercote EnergySaver or equal, R25 in the walls (1-layer), and R30 minimum in the roof-ceiling (2-layer). Provide thermal break tape between the girts and wall panels.

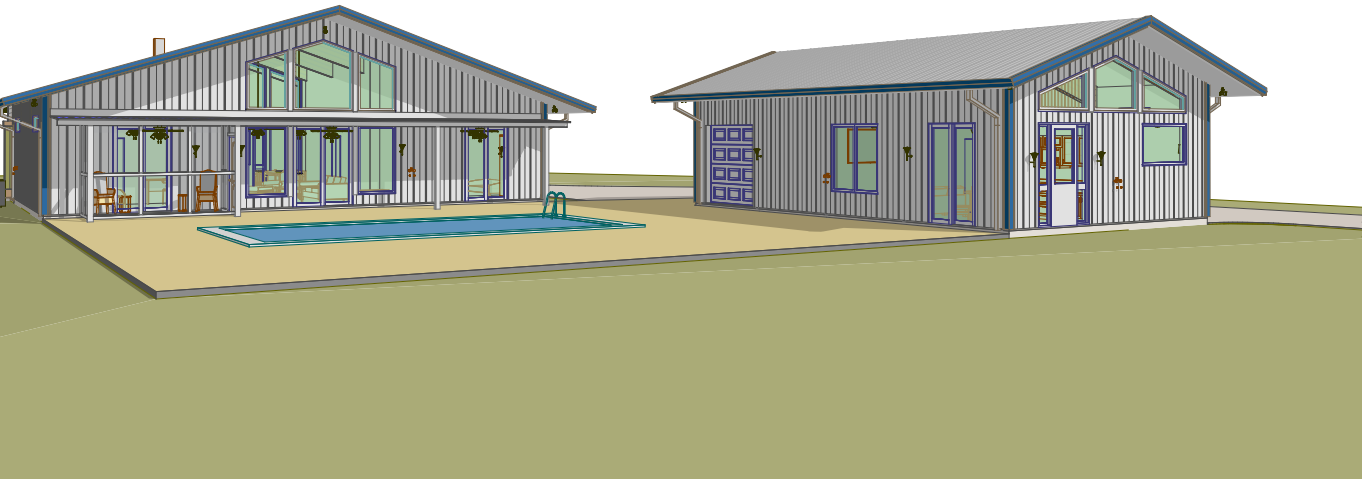
21-02 Shell

21-02 20 Exterior Vertical Enclosures...
Exterior Vertical Enclosures consist of Exterior Walls (21-02 20 10), Exterior Wall Interior Skin (21-02 20 10 30), and Exterior Windows and Doors (21-02 20 20).
Exterior Walls...
Exterior Walls are engineered 26ga panels on engineered metal building frame. Shop drawings required.
Exterior Wall Interior Skin...
Exterior wall interior skin consists of painted 1/2" gypsum board (22-09 29 00, 2/E1.01) attached to the girts. Where wall tile is scheduled, concrete backer board (Wonderboard or equal) is required. Use water-resistant gypsum at all locations within 3 feet of toilets or sinks (T.R702.3.5). Fasteners shall be as specified in (T.R702.3.5); drywall nails at 8" oc, or as specified in (R702.3.6); screws at 16" oc.
Exterior Windows and Doors...
Exterior windows are PGT aluminum windows (36-11 21 00 04) or equal, double-pane. Glass types are to be high-SHGC<=.5, U<=.4 at south-facing and Garage windows, and low-SHGC<=.0.25, U<=.0.25, low-e at all other locations. Interior finish shall be drywall return at all jams and heads, with interior wood stools, or jamb extensions and wood trim at Owner's approval. Exterior Doors are steel out-swing entrance doors, and PGT aluminum patio doors or equal installed per manufacturer's instructions.

21-02 20 Exterior Vertical enclosures

21-02 30 Exterior Horizontal Enclosures...
Exterior horizontal enclosures consist of roofing (21-02 30 10), Roof Decks, Slabs and Sheathing (2-02 10 20), Ceilings (21-02 30 80 10), and Exterior Soffits (21-02 30 80 20).
Roofing...
Roofing shall be "PBR panel" 26ga minimum or equal with finish carrying a 30-year warranty (36-11 21 00 06).
Rainwater Management...
Provide gutters and downspouts, sized per Table 6 of "Moisture Resistant Homes (36-11 29 13 04) at all eave conditions. Route underground to off-site drainage.
Ceilings...
Interior roof-ceiling skin consists of painted 1/2" gypsum board (22-09 29 00, 2/E1.01) attached to the purlins.
Exterior Soffits...
Exterior soffits shall be 5V Crimp metal panels attached perpendicular to the purlins.

21-02 30 Exterior Horizontal Enclosures

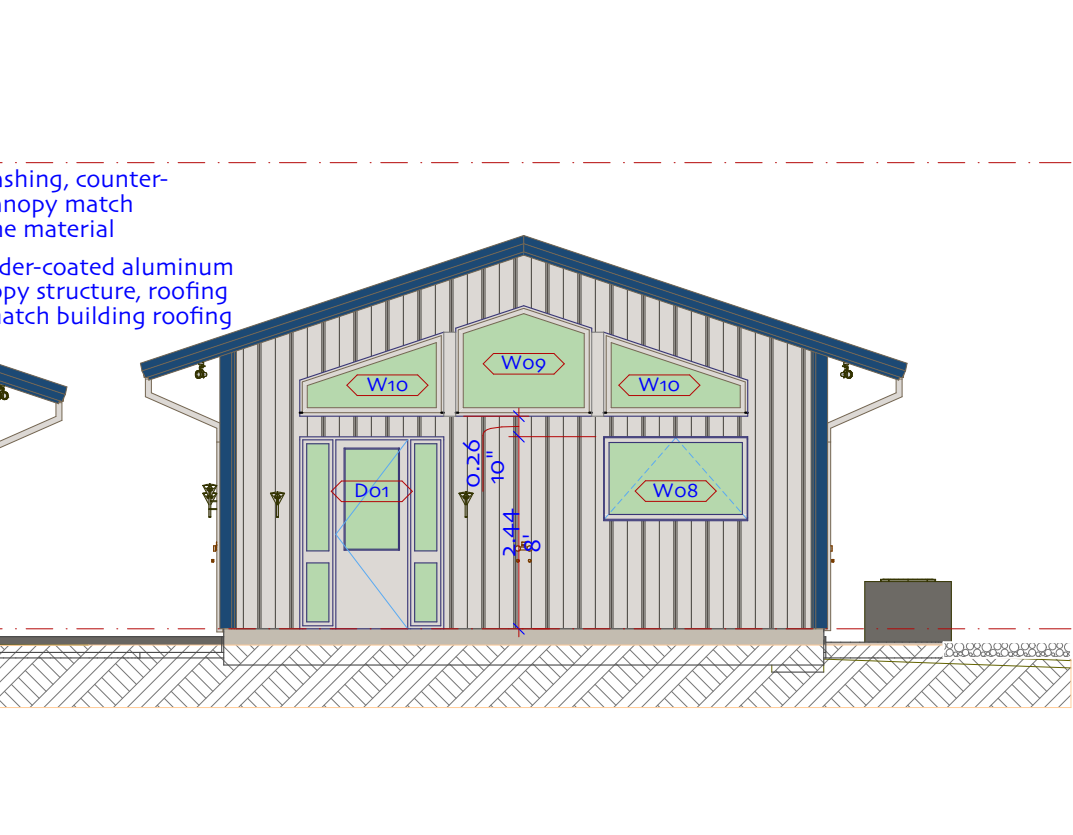


Northwest Perspective



Exterior Door and Window Legend

ID	Do1	Do2	Do3	Do4	Do5	Do6	Wo1	Wo2	Wo3	Wo4	Wo5	Wo6	Wo7	Wo8	Wo9	Wo10
2D Symbol																
Elevation																
Nominal W x H	6'-0" x 8'-0"	6'-0" x 8'-0"	5'-0" x 8'-0"	3'-0" x 7'-0"	9'-0" x 8'-0"	8'-0" x 8'-0"	4'-0" x 6'-0"	4'-0" x 7'-0"	5'-0" x 6'-0"	6'-0" x 7'-1 3/4"	4'-0" x 6'-0"	5'-0" x 1'-6"	6'-0" x 6'-0"	6'-0" x 3'-6"	5'-8" x 4'-7 1/4"	6'-0" x 3'-6"
Notes	458mm [18"] sidelites			steel door	sectional overhead door	sectional overhead door				1873mm [73 3/4"] heel height	1423mm [56"] heel height				1118mm [44"] heel height	458mm [18"] heel height



project number: 3392201

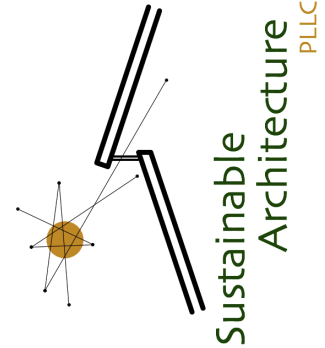
Construction Documents

Issue: 8/16/2020
© copyright 2020

Addenda:



8/16/2020

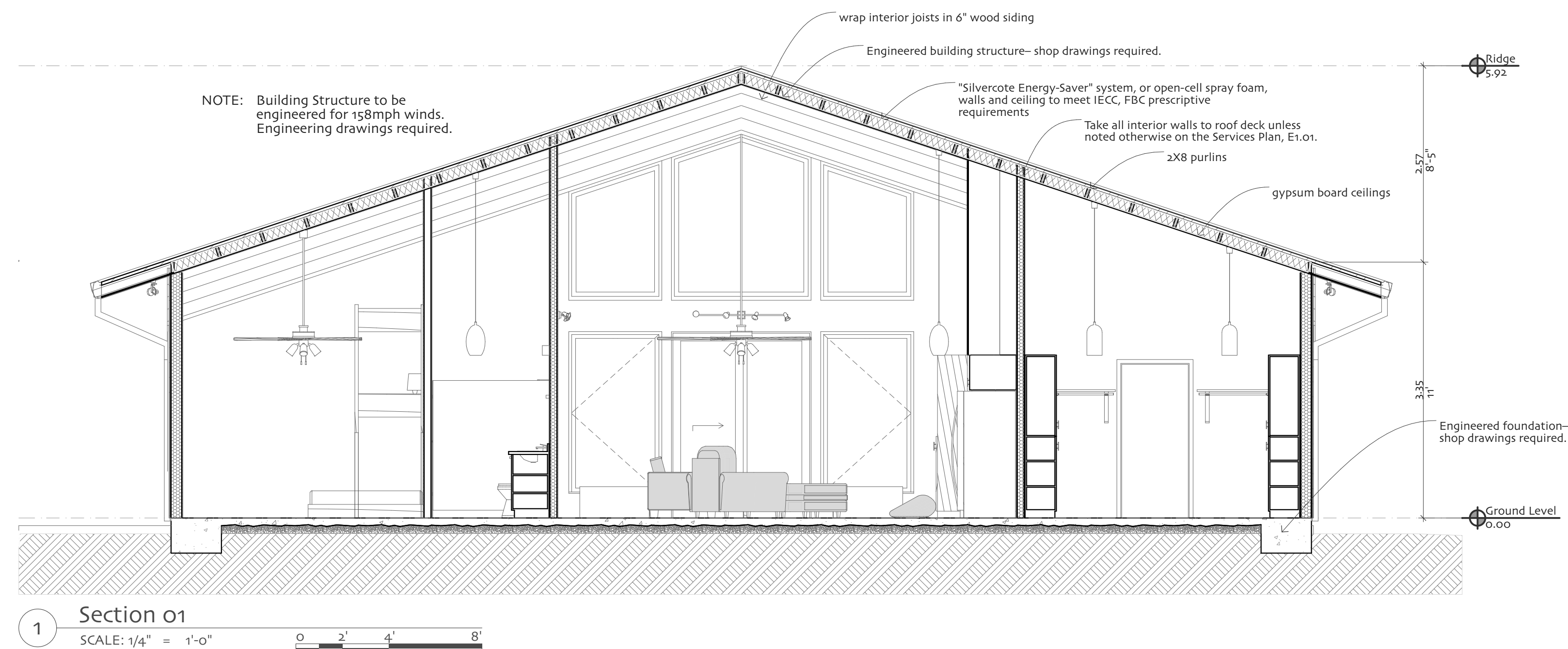
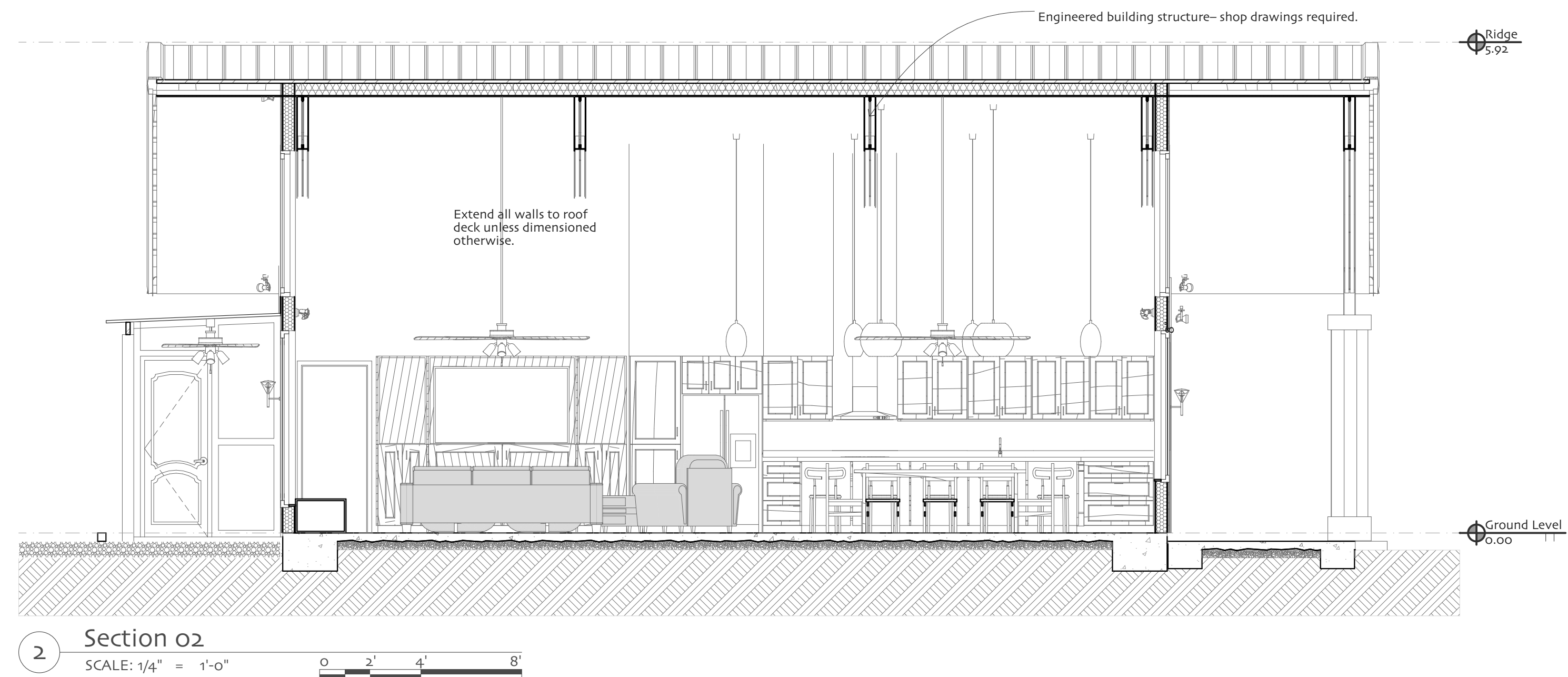
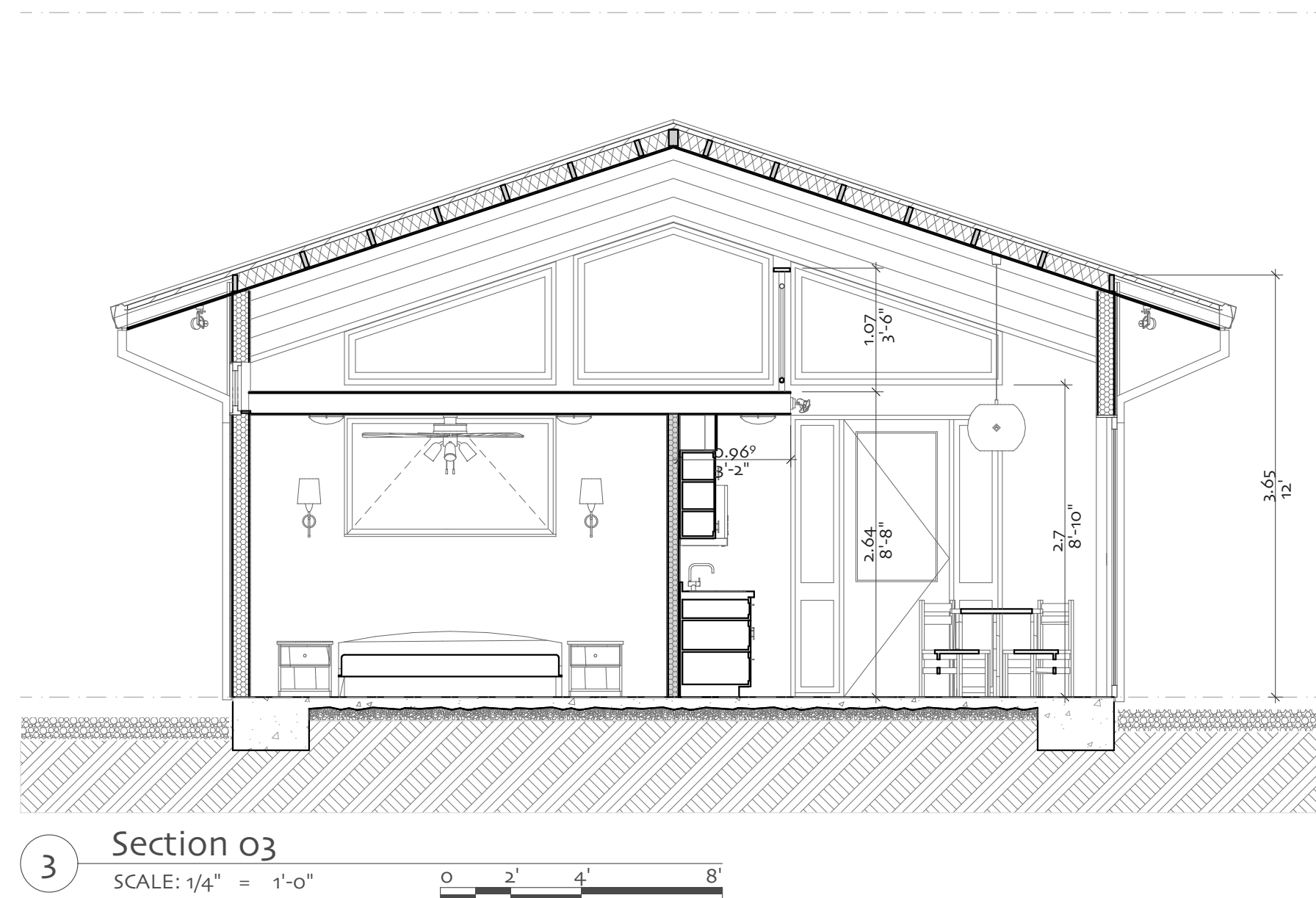


Sustainable Architecture PLLC

W. Brent Swain,
570 Hathorn Road
Oxford, MS 38655
662.801.2701
www.SustainableArch.com
architecture, sustainable &
passive-solar design
CAD & graphic services

Casa del Sol
12701 Aubrey Lane
Bookelia, FL 33922

Exterior
A2.01

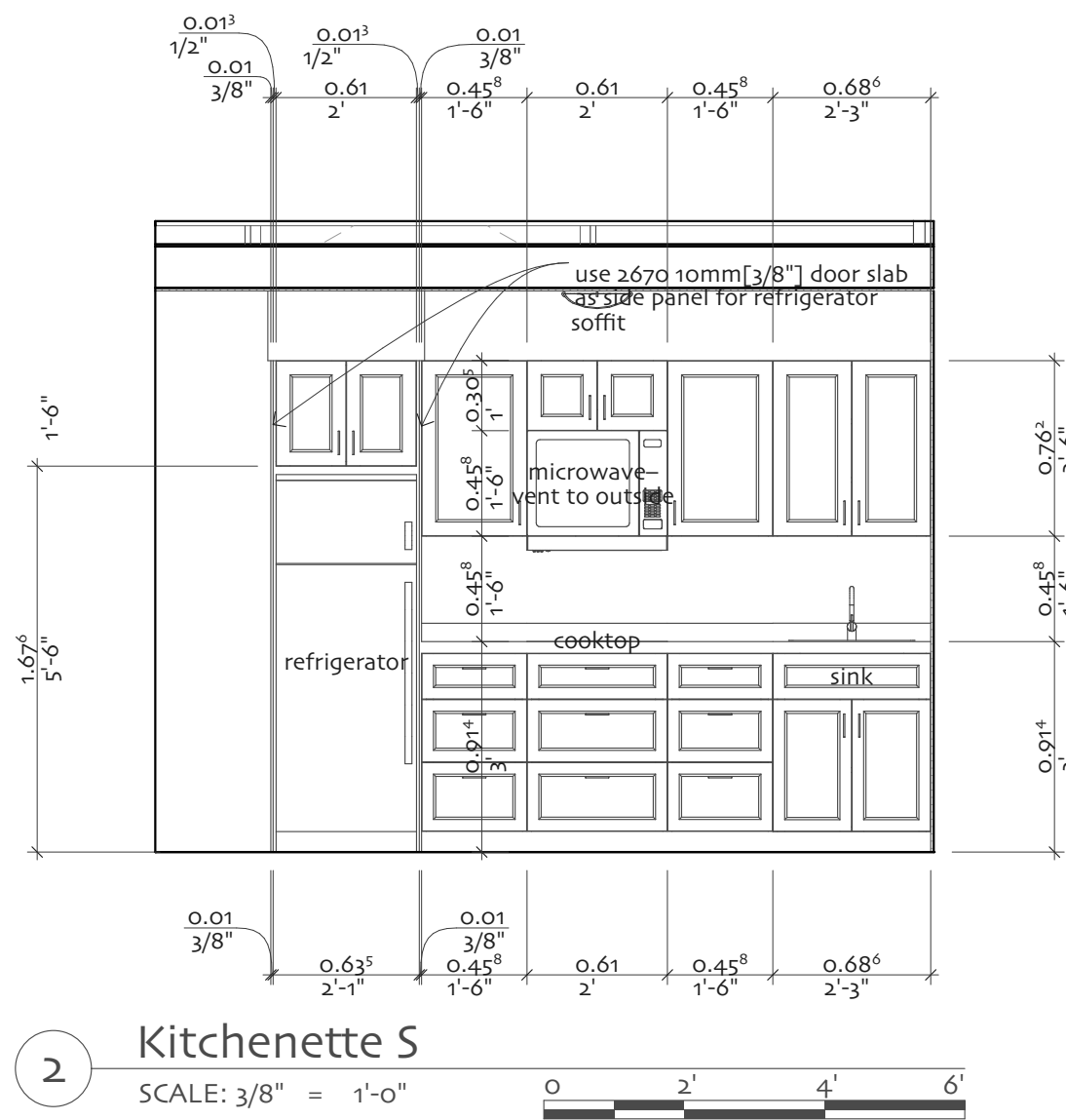


21-03 Interiors... Interiors consist of Interior Partitions (21-03 10 10), Interior Doors (21-03 10 30), Tile Flooring (21-03 20 30 20), Painting (22-09 91), Interior finish carpentry (22-06 20 23), Millwork (22-06 22), and Toilet Accessories (22-10 28 13). Interior Partitions... Interior Partitions shall meet all requirements of Gypsum Board Assemblies (22-09 29) and Rough Carpentry (22-06 10). See Assembly Types, 1/A1.01 for lumber grade. Interior Doors... Install interior doors with maximum 3mm[1/8"] clearance at top and sides, and 6mm[1/4"] clearance at bottom. Doors shall have an allowable warp tolerance of 6mm[1/4"]. All four corners are to be square and the hypotenuse measurements must be within 3mm[1/8"] of each other. Shim to ensure frames are plumb and level. 21-03 20 30 Tile Flooring... Size, color and texture of all tile is to be as selected by Owner. Static coefficient of friction for all tile shall be minimum 0.6 and 0.8 for sloped surfaces wet. Ceramic tile areas to receive painted wood base; porcelain tile to receive porcelain tile cove base. Concrete beneath subfloor is to be clean and dust free, cured, flat and level. Verify plumbing and other services are located properly before performing work. Use organic adhesive Type I in all areas exposed to prolonged moisture. Use tile manufacturer-recommended mortar bed materials, mortar bond coat materials, grout, sealant, cleavage membrane, waterproofing membranes and backer board as required. Install tile to manufacturer recommended tolerances. For floors, install per TCA Handbook method F11 with cleavage membrane lapped 5cm[2"] in all directions; mortar bed thickness is 3cm to 5 cm[1 1/4" to 2"]; standard grout. At tiled shower stall receptors install per method B415, mortar bed floor; and W244, thin set over cementitious backer unit walls. At bathtub surrounds install per method B412, over cementitious backer units with waterproofing membrane. Thoroughly clean all surfaces after installation; remove wayward grout. Provide an additional 10% of each product type to Owner. 22-09 91 Painting... Interior paint shall be latex based, zero VOC paint. A primer and one finished coat is required (unless pre-primed). Luon doors require two primer coats. Finish shall be semi-gloss for all walls; gloss for all paint grade trim, posts and post wraps, exposed beams or beam wraps, millwork and doors; flat for ceilings. Stain grade posts or beams, 6-panel wood doors and millwork shall receive 2 coats of semi-transparent stain, alkyd or oil resin base. Provide 2 extra gallons of each paint and color. 22-09 29 Gypsum Board Assemblies... Gypsum Board shall be regular 13mm[1/2"], except board shall be moisture resistant extending 61cm[2"] in all directions from all wet areas, and type-X beneath habitable rooms and in the garage ceiling. Ceiling gypsum board shall be hung perpendicular to the underside of the floor framing, which is spaced a maximum of 61cm[2"] oc. Fastener spacing for ceilings shall be 17cm[7"oc] for nails or 30cm[12"]oc for screws, and for walls shall be 20cm[8"]oc for nails or 61cm[24"]oc for screws. Material Standard for Gypsum Board Finish is ASTM C1396. Fasteners shall be 13ga 34mm[1 3/8"] nails with a 7.5mm[19/64"] head, or 31mm[1 1/4"] X 3mm[2.098"] diameter annular-ringed nails, or 56 41mm[1 5/8"] X 2mm[0.086"] diameter cooler nail with a 6mm[15/64"] head, or 41mm[1 5/8"] X 2mm[0.086"] diameter gypsum board nails with a 7mm[5/32"] head. Finish standard is CB40 and G416 Level 4. Joint treatment shall be 3 coat system with paper or fiberglass tape complying with ASTM C474 and CB40. There shall be not more than 2mm[1/16"] difference in true plane at joints between adjacent boards before finishing and not more than 3mm per 2.5m[1/8":10"] deviation from true plane, plumb, level and proper relation to adjacent surfaces in finished work. After finishing, joints shall not be visible. Install boards vertically. Do not allow butt-joint joints or joints that do not fall over framing members. Repair surface defects (36-11 29 13 05, pages 101 through 105). 22-06 10 Rough Carpentry... Interior ceilings are to be constructed according to Gypsum Board Assemblies (22-09 29). Lumber is to be stamped with American Softwood Lumber Standard and inspection agency stamps DOC PS 20. Product standard for plywood: DOC PS 1, APA PRP-108. All carpentry to be level and plumb, all door and window installations shimmied to level and plumb. Lumber shall be FSC certified. Fastening requirements are per (T.R.602.10(1)). Provide blocking for Toilet Accessories (22-10 28 13) and Millwork (22-06 22). 22-06 20 23 Interior Finish Carpentry... Interior finish carpentry including wood base, door casing, window stool and aprons, crown moulding at the top of millwork, and crown moulding at the top of all wall partitions where there is no ceiling is to meet AWI standards, custom grade (36-11 29 13 06). After drywall is hung but prior to trim carpentry work, discuss finish carpentry options (e.g. crown moulding, chair rail, custom sills, window seats, etc.) with Owner; an allowance in the original project budget is recommended. 22-06 22 Millwork... Millwork consists of site-fabricated, site-built Owner-selected fixed furnishings. Millwork is to be AWI custom grade (36-11 29 13 06). Universal design standards are recommended. Unless requested by Owner, all fixed furnishings, "built-ins," including kitchen cabinetry and bath vanities are to be Casework. 21-05 10 20 30 Casework... Casework consists of fully finished shop-built fixed furnishings installed and trimmed out by the Contractor. Casework is to be AWI custom grade (36-11 29 13 06). Universal design standards are recommended. 22-10 28 13 Toilet Accessories... Toilet Accessories including at a minimum towel bars and hooks, toilet paper dispensers, bathroom mirrors, and optional wall-mounted soap dispensers and soap dishes are as selected by the Owner and installed by the Contractor. Provide blocking for future grab bars at all toilets and in all showers. Universal design standards are recommended.

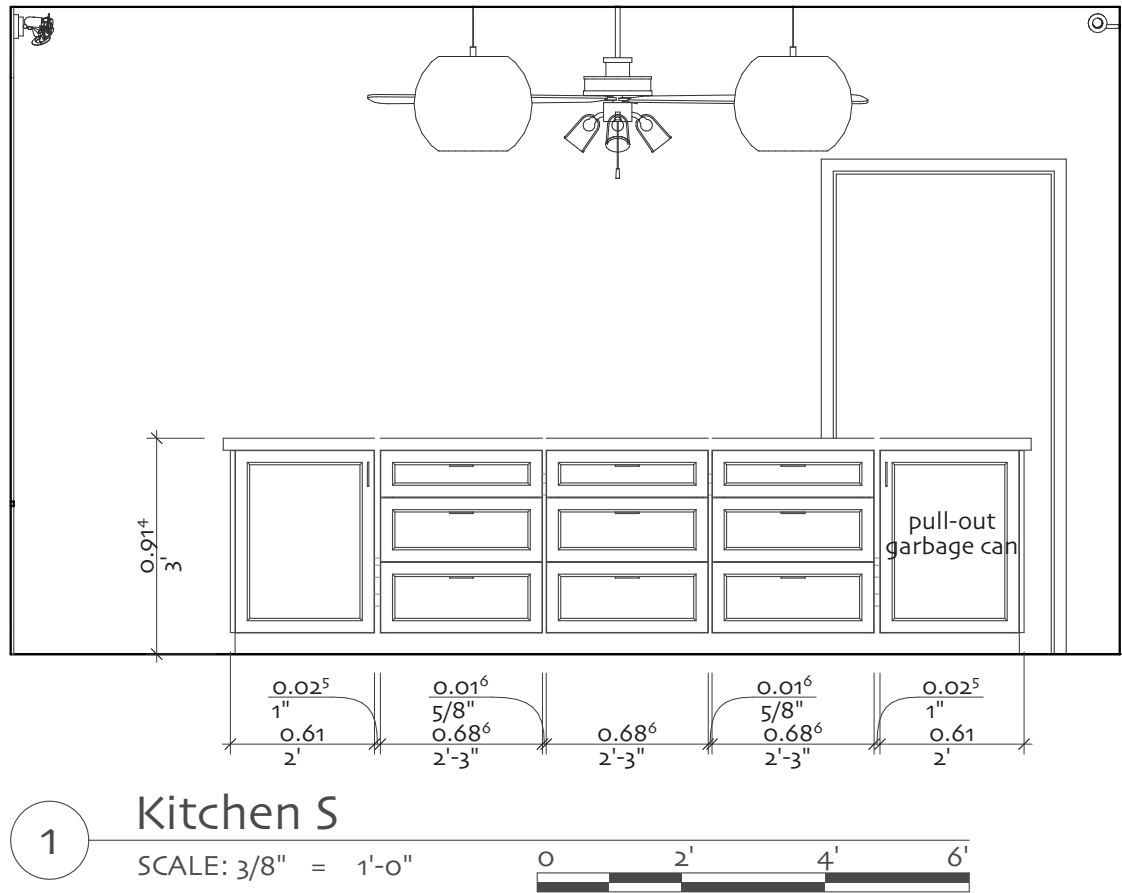
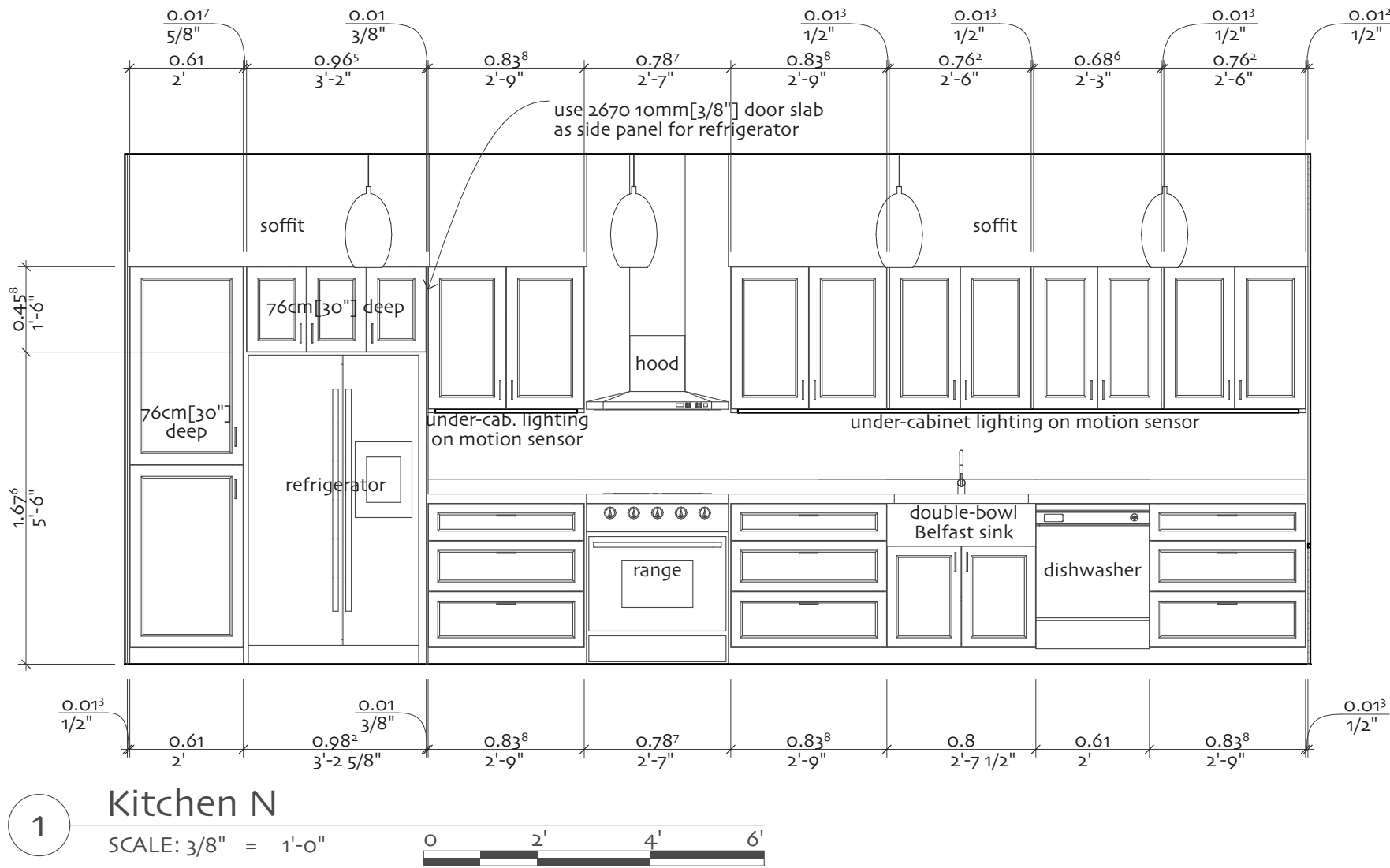
3 21-03 Interiors



5 Aoportment Perspective



4 Galleria Perspective

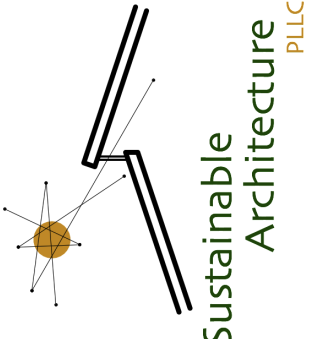


project number: 3392201

Construction Documents

Issue: 8/16/2020
© copyright 2020

8/16/2020



Sustainable
Architecture
PLLC

W. Brent Swain,
570 Hathorn Road
Oxford, MS 38655
662.801.2701
www.SustainableArch.com
architecture, sustainable &
passive-solar design
CAD & graphic services

Casa del Sol
12701 Aubrey Lane
Bookelia, FL 33922

